

**White &
Brooks**

BOGNOR REGIS



**36A, Marshall Avenue, Bognor Regis,
West Sussex, PO21 2TR**

Asking Price: £315,000

Freehold

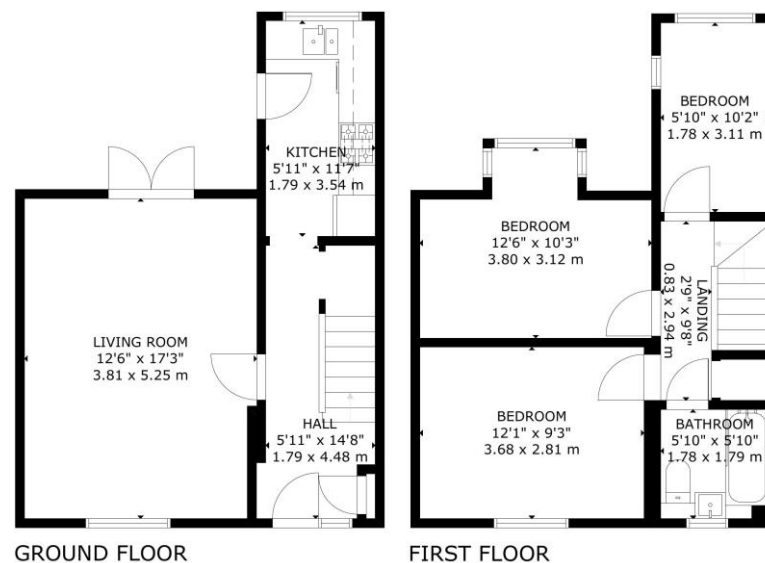
36A, Marshall Avenue, Bognor Regis, West Sussex, PO21 2TR

Well presented semi-detached house, situated in this sought after residential location, within easy reach of Bognor Regis town centre, mainline railway station and the seafront. The accommodation briefly comprises to the ground floor, entrance hall, spacious dual aspect living/dining room with french doors leading to the rear garden and a separate kitchen to the rear of the property. To the first floor there are two double bedrooms, a single bedroom and a modern white bathroom suite. The property further benefits from a secluded rear garden, with lawn and decking areas and a block paved driveway to the front, providing off road parking. An internal viewing is essential to appreciate the location and accommodation on offer.

The Cathedral City of Chichester, which provides a wide variety of cultural, leisure and shopping facilities, including the internationally renowned Festival Theatre, Pallant House Gallery and museums, is approximately six miles. Approximately 10 miles to the North West lies Goodwood with its' famous race course, golf courses and airfield and which is also home to the annual Festival of Speed and The Revival. The A27 provides easy access across the Coast to Brighton to the East and Southampton to the West.

Council Tax Band: C

- Freehold
- Situated In This Sought After Residential Location
- 3 Bedrooms
- Spacious Living/Dining Room
- Kitchen
- Family Bathroom
- Secluded Rear Garden
- Driveway



GROSS INTERNAL AREA
TOTAL: 71 m²/772 sq ft
GROUND FLOOR: 35 m²/381 sq ft, FIRST FLOOR: 36 m²/391 sq ft
SEE A310 DIMENSIONS ARE APPROXIMATE, PLEASE MEAS. FIRST VISIT





Energy Efficiency Rating		
	Current	Potential
<i>Very energy efficient - lower running costs</i>		
(92+)	A	
(81-91)	B	82
(69-80)	C	
(55-68)	D	59
(39-54)	E	
(21-38)	F	
(1-20)	G	
<i>Not energy efficient - higher running costs</i>		
England, Scotland & Wales	EU Directive 2002/91/EC	

White and Brooks - Bognor Regis

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Disclaimer

Every attempt has been made to ensure accuracy, however these property particulars are approximate and for illustrative purposes only. They have been prepared in good faith and they are not intended to constitute part of an offer of contract. We have not carried out a structural survey and the services, appliances and specific fittings have not been tested. All photographs, measurements, floor plans and distances referred to are given as a guide only and should not be relied upon for the purchase of any fixture or fittings. Lease details, service charges and ground rent (where applicable) are given as a guide only and should be checked prior to agreeing a sale.